

ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR ANY STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE VERIFICATION AND CHECKING OF ALL NOTES, DETAILS, ELEVATIONS, SECTIONS AND FLOOR PLANS AND NOTIFY ROYAL OAKS DESIGN, INC. OF ANY ERRORS PRIOR TO START OF CONSTRUCTION. ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR THE WORKMANSHIP OF THE SUB-CONTRACTORS.

AREA TABULATION	
BASEMENT	416 SF
MAIN LEVEL	1416 SF
UPPER LEVEL	546 SF
TOTAL FINISHED	1982 SF
TOTAL LIVABLE INCL. UNFINISHED BASEMENT AREA	2378 SF
GARAGE	400 SF
FRONT PORCH	55 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR STUD AT FRAMED WALLS.
STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES OF DRAWINGS
- KICKOUT FLASHING TO BE INSTALLED AS NEEDED
- EXTERIOR WALL FINISHER TO VERIFY KICKOUT FLASHING IS INSTALLED PRIOR TO FINISHING
- CARPENTER TO FLASH ALL EXTERIOR WINDOWS & DOORS PER MIN. AND IRC CODE REQUIREMENTS
- WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONAL CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
- ANY NOTATIONS OF SIZES OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION SIZING, POSTS, BEAMS, JOISTS, RAMPERS, TRUSSES ETC. THAT APPEAR ON THESE PLANS ARE FOR DESIGN REVIEW AND BIDDING PURPOSES ONLY. IT IS RECOMMENDED A PROFESSIONAL ENGINEER BE ENGAGED TO CALCULATE AND DESIGN ALL STRUCTURAL COMPONENTS INVOLVED IN THIS STRUCTURE.

WINDOWS

- MARVIN ESSENTIAL SERIES
- TYPE AND SIZE PER PLAN
- WINDOWS DESIGNATED WITH 'T' TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH 'E' MEET EGRESS CODES
- BUILDER TO VERIFY ALL ROUGH OPENING DIMENSIONS AND HEADER HEIGHTS.

EXTERIOR FINISHES

- SIDING (AS NOTED)
- HARDBLANK LAP SIDING
- 4" EXPOSURE
- HARDBLANK VERTICAL SIDING
- 4" EXPOSURE
- HARDBLANK VERTICAL SIDING
- SMOOTH W/ BATTEN BOARDS AT 12" O.C.
- HARDIBLANK VERTICAL SIDING
- THICKNESS AND WIDTH AS NOTED

TRUSS SUPPLIER TO VERIFY ALL SPANS, PITCHES, HEEL HEIGHTS AND OTHER CONDITIONS CRITICAL TO PROPER TRUSS FABRICATION.
ANY STRUCTURAL COMPONENTS THAT MAY NOTED ON THESE PLANS ARE INTENDED FOR DESIGN/BID PURPOSES ONLY. IT IS RECOMMENDED THAT ALL STRUCTURAL DESIGN ELEMENTS BE REVIEWED BY A LOCAL LICENSED PROFESSIONAL STRUCTURAL ENGINEER.
FINAL ROOF AND FLOOR TRUSS DESIGN AND LAYOUT TO BE PROVIDED BY YOUR LOCAL TRUSS SUPPLIER.

+++ STRUCTURAL NOTICE +++
ALL STRUCTURAL BEAM AND HEADER SIZES, BEARING CONDITIONS AND ANCHORING REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR ENTIRE STRUCTURE.

++ FOUNDATION ENGINEERING ++
ALL BUILDING FOUNDATION, FOOTING SIZES AND REINFORCING, INCLUDING POST FOOTINGS, TO BE DESIGNED ON SITE BY LOCAL ENGINEER OR FOUNDATION CONTRACTOR BASED ON EXISTING SITE CONDITIONS.

++ FOOTING FROST DEPTH: ++
OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.

HBN-21-032
THE BREEZY POINTE
BASEMENT
2 CAR FRONT - STANDARD



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Original Draft Date: 11/02/2021

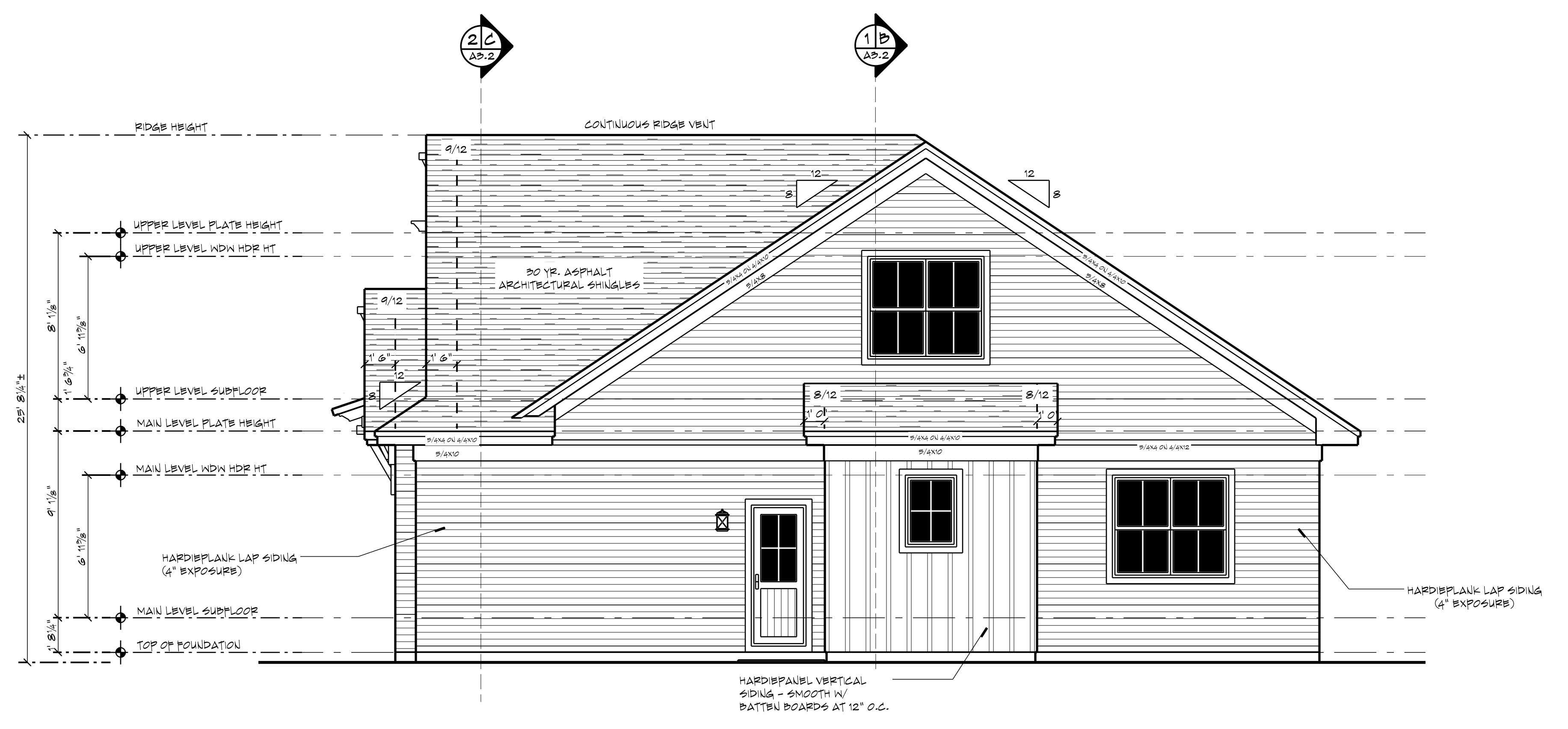
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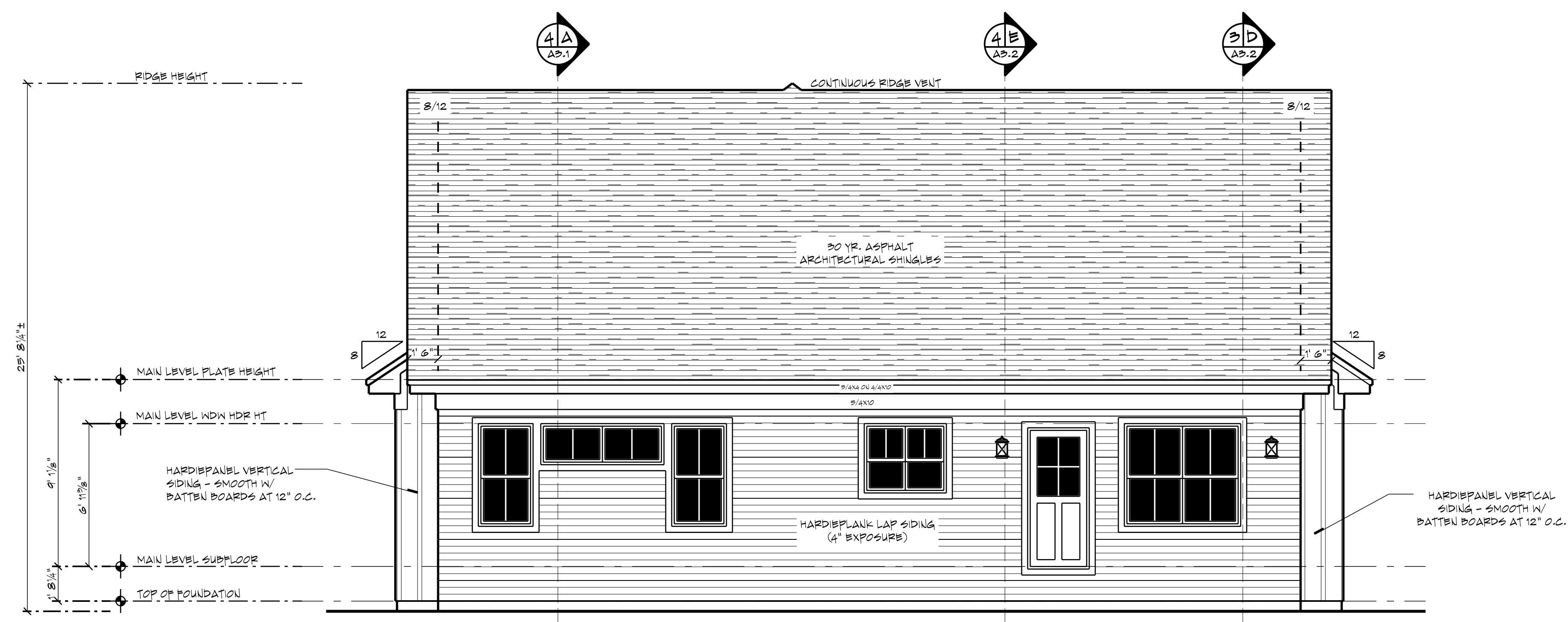
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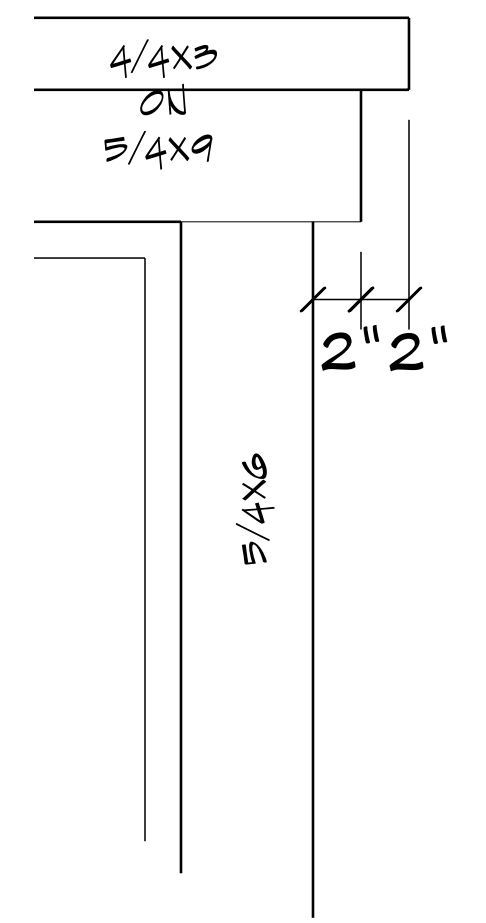
EXTERIOR ELEVATIONS
WINDOW OPENING DETAIL



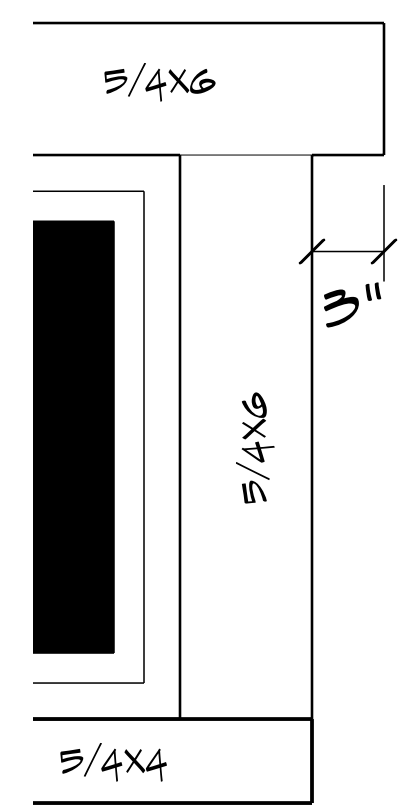
1
A1.2
RIGHT ELEVATION



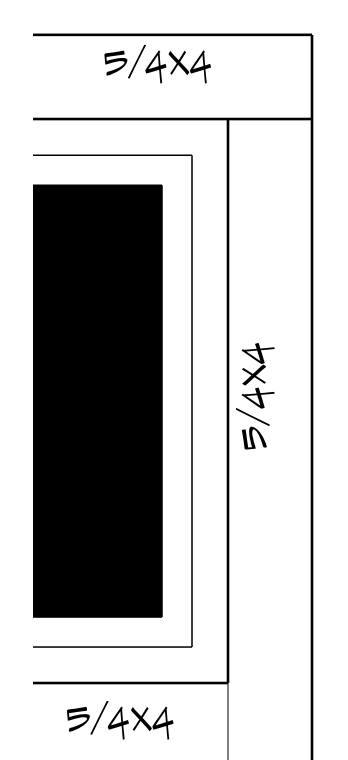
2
A1.2
REAR ELEVATION



GARAGE



FRONT



TYPICAL

3
A1.2
TRIM DETAIL

SCALE: 1-1/2" = 1' 0"

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FOUNDATION PLAN

FOUNDATION LEGEND

- (A) 8" X 8" 4" H POURED ON 20" X 8" CONC FOOTING
- (B) 8" X 8" H POURED ON 10" X 7" 8" H POURED ON 20" X 8" CONC FOOTING - 2" X 8" EXT. LEDGE
- (C) 6" X 8" H POURED ON 8" X 4" H POURED ON 20" X 8" CONC FOOTING - 2" X 8" INT. LEDGE
- (D) 6" X 8" H POURED ON 12" X 4" H POURED ON 20" X 8" CONC FOOTING - 4" X 8" EXT. LEDGE 2" X 8" INT. LEDGE
- (E) 2X4 BEARING WALL ON 6" X 4" H POURED CONC CURB ON 16" X 8" CONC FOOTING
- (F) 2X6 BEARING WALL ON 6" X 4" H POURED CONC CURB ON 16" X 8" CONC FOOTING
- (G) 3" O ADJUSTABLE STEEL COLUMN ON SPREAD FOOTING, SIZE AND REINFORCING BY OTHERS
- (H) 8" X 4" H POURED ON 20" X 8" CONC FOOTING

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- DIMENSIONS ARE FROM EXTERIOR FACE OF CONCRETE FOUNDATION WALLS AND CENTERLINE OF INTERIOR BEARING WALLS, POSTS AND BEAMS.
- FOUNDATION CONTRACTOR TO VERIFY ALL ROUGH-IN PLUMBING LOCATIONS AND ANY OTHER SUBSTITUTIONS THEREAFTER PRIOR TO CONSTRUCTION.
- BUILDER/FOUNDATION CONTRACTOR TO VERIFY FOOTING SIZE AND REINFORCEMENT REQUIREMENTS BASED ON EXISTING SOIL CONDITIONS PRIOR TO CONSTRUCTION.
- WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
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FLOOR SYSTEM

- ENGINEERED WOOD FLOOR TRUSSES
- DESIGNED TO MIN. L/480 DEFLECTION OF LESS
- TRUSS MANUFACTURER TO PROVIDE CHASES FOR ALL SUPPLY AND RETURN DUCTWORK
- TRUSS MANUFACTURER TO VERIFY FRAMING AT CANTILEVERS FOR POINT LOADS FROM ABOVE
- TRUSS MANUFACTURER TO VERIFY LOCATIONS OF ANY CONTRIBUTED LOADS, SUCH AS GRANITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NOTED

FRAMING

- 8" 1/2" ROUGH CEILING HEIGHT
- PROVIDE SOLID BLOCKING AT ALL POINT LOADS

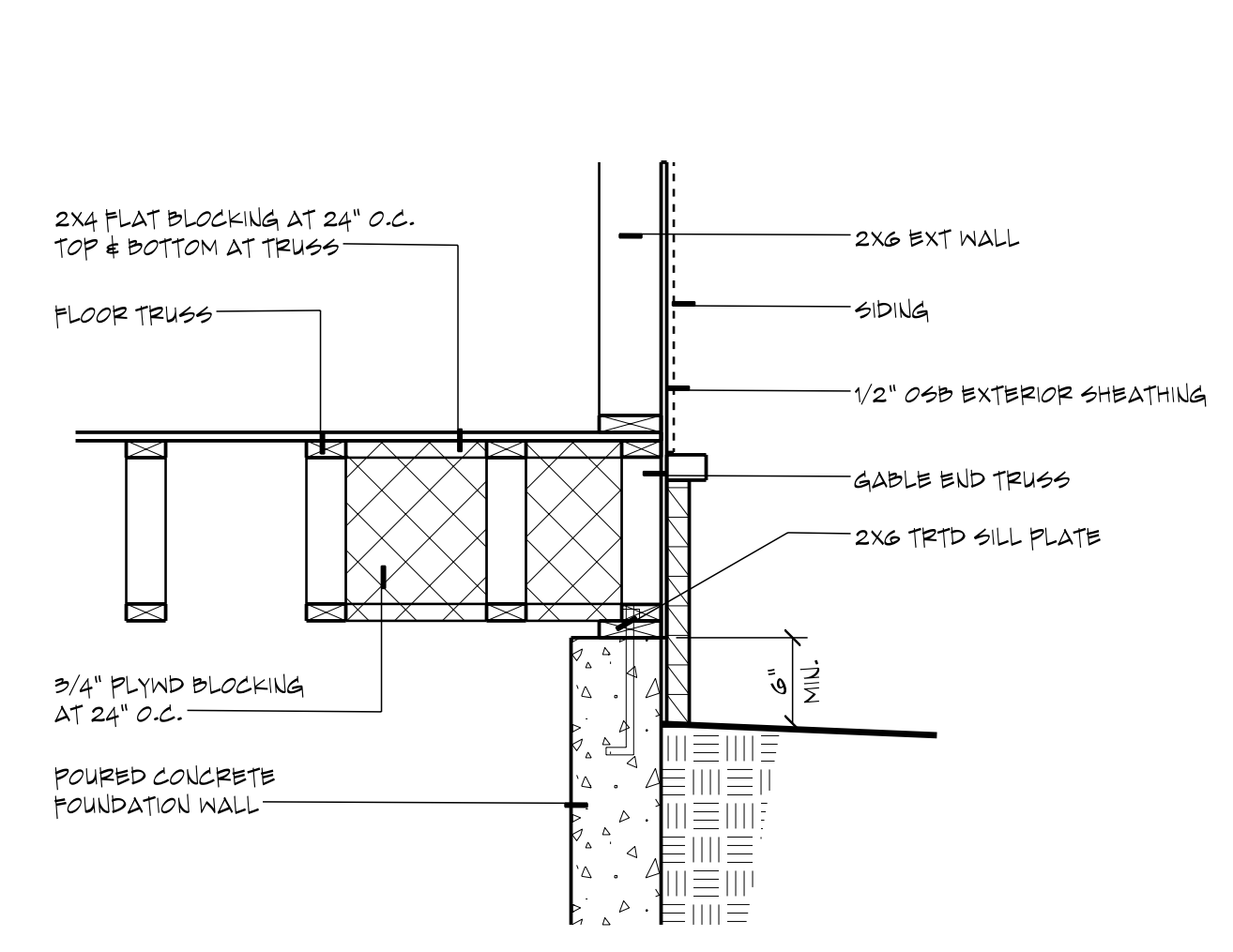
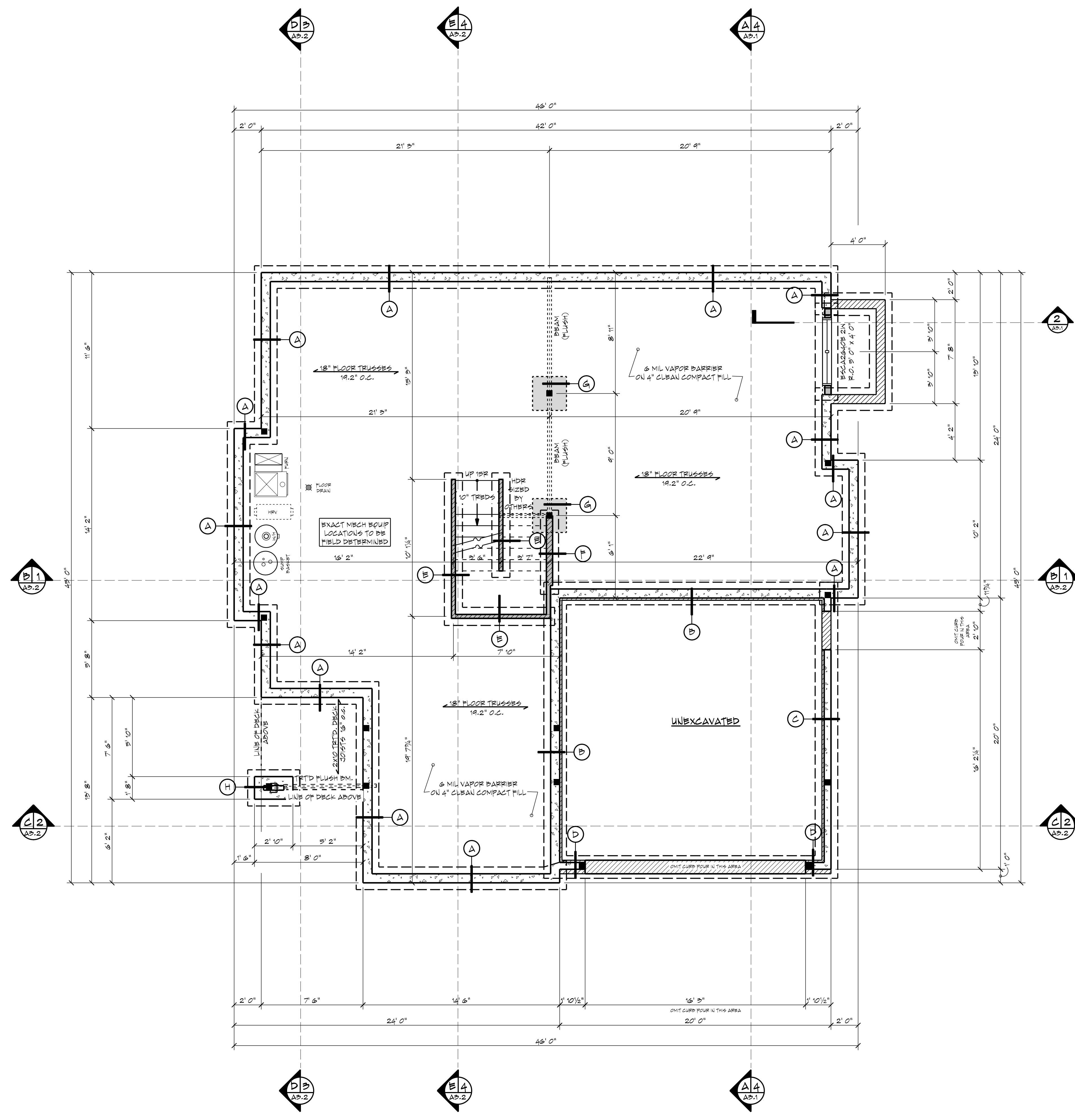
- INDICATES BEARING POINT LOAD
- PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

DOOR SCHEDULE SYMBOL
2468 REPRESENTS A 2'-4" WIDE X 6'-8" HIGH DOOR

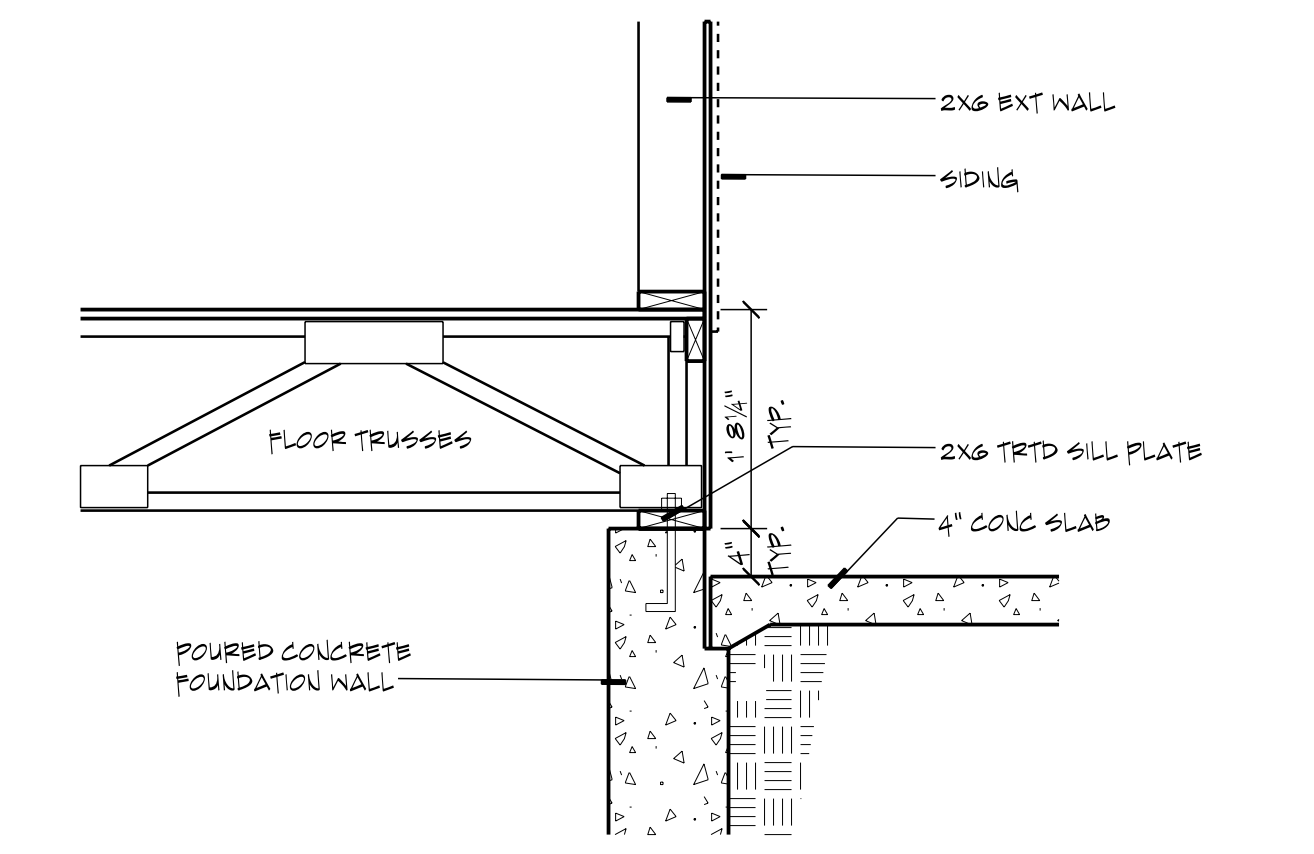
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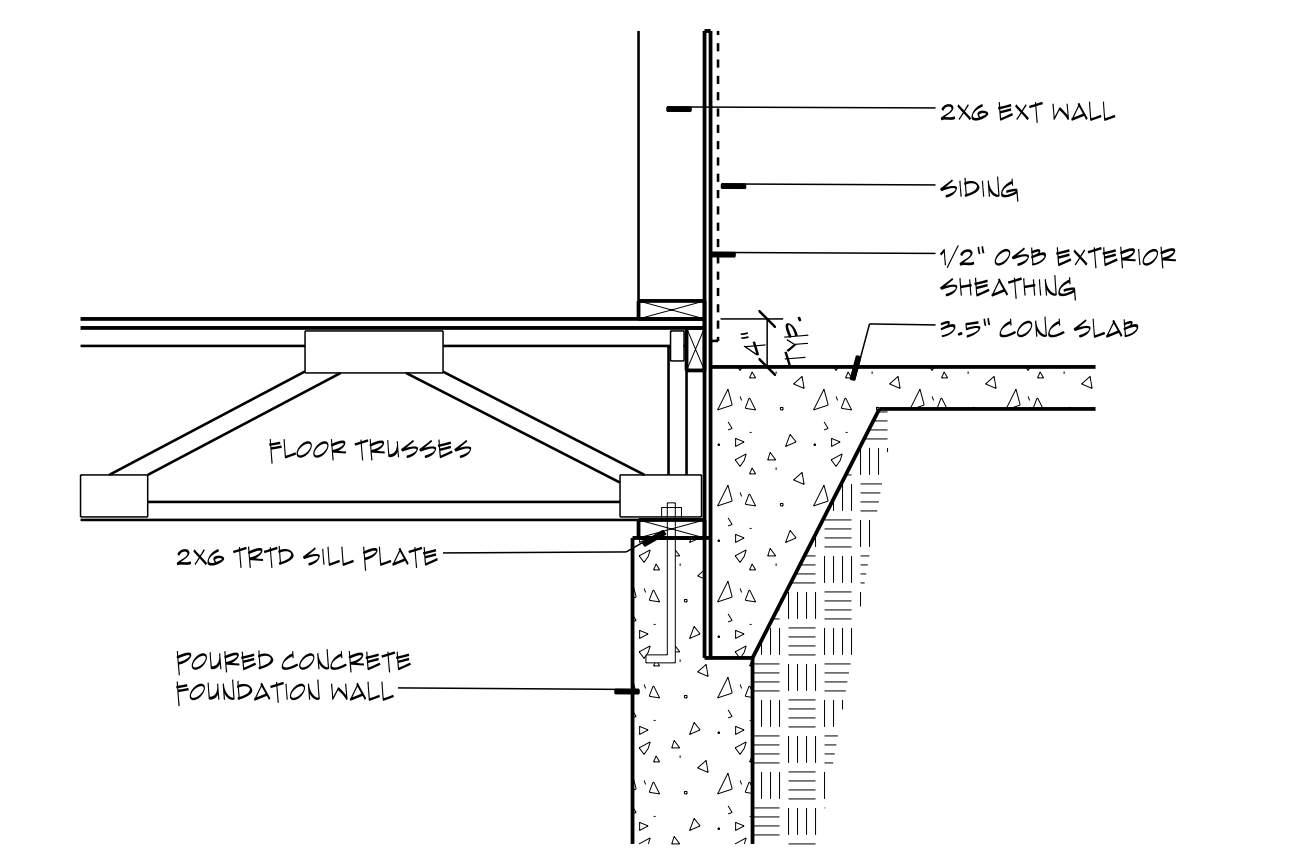
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FLOOR TRUSSES - PARALLEL FULL BASEMENT



FLOOR TRUSSES - PERPENDICULAR HOUSE / GARAGE



FLOOR TRUSSES - PERPENDICULAR AT STOOP

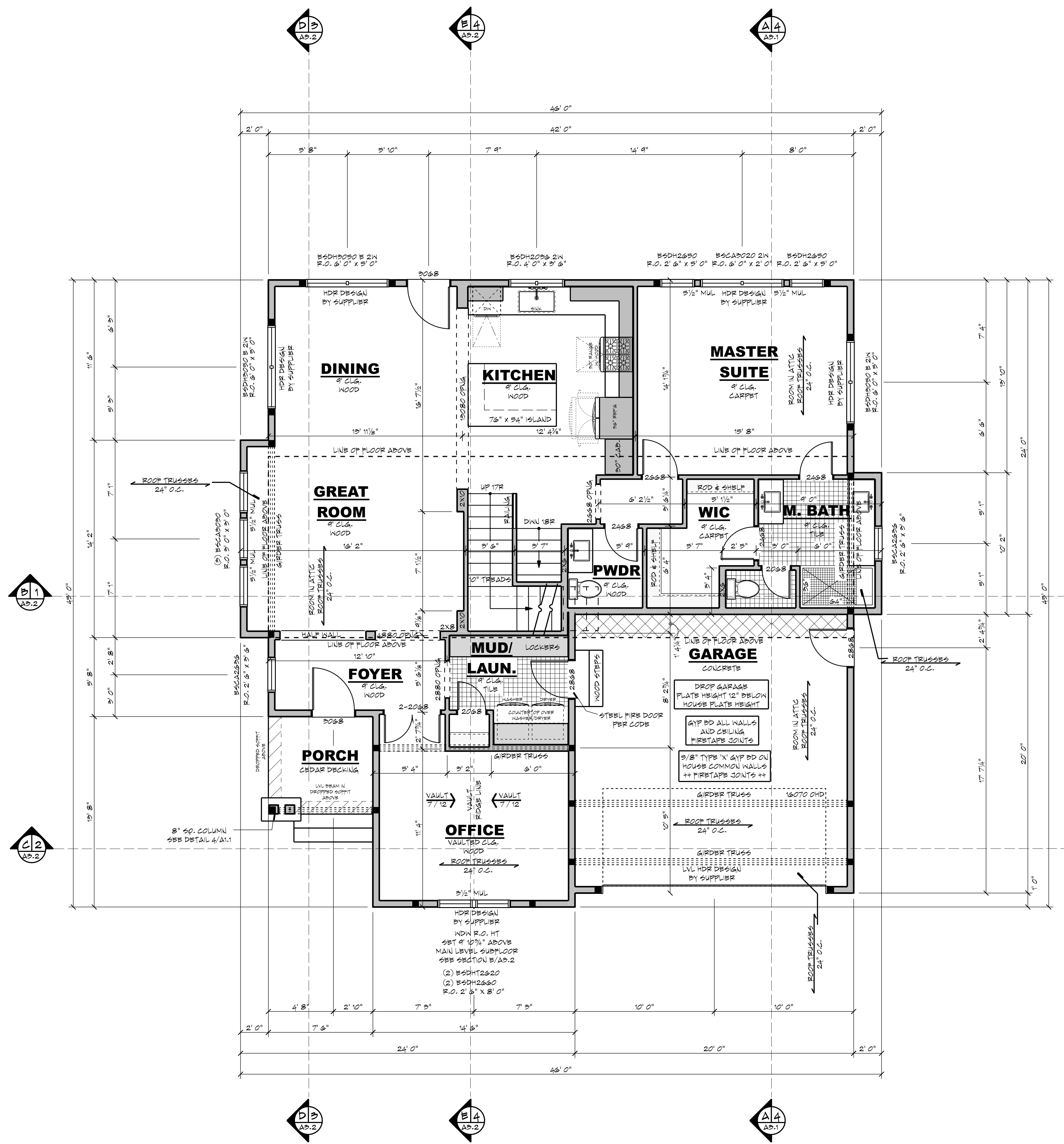
2 A2.1 FLOOR FRAMING DETAILS
SCALE: 3/4" = 1' 0"

1 A2.1 FOUNDATION PLAN
SCALE: 1/4" = 1' 0"

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AREA TABULATION	
BASEMENT	416 SF
MAIN LEVEL	416 SF
UPPER LEVEL	546 SF
TOTAL FINISHED	1382 SF
TOTAL LIVABLE INCL. UNFINISHED BASMENT AREA	2378 SF
GARAGE	400 SF
FRONT PORCH	55 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR STUD AT FRAMED WALLS.
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WINDOWS

- MARVIN ESSENTIAL SERIES
- STYLE AND SIZE AS NOTED
- WINDOWS DESIGNATED WITH "T" TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH "H" MUST BEGRASS CODES
- WINDOW HEADER HEIGHTS SET TO 6'-10 1/8" (U.L.C.)
- BUILDER TO VERIFY WINDOW AND DOOR ROUGH OPENINGS AND HEADER HEIGHTS

FLOOR SYSTEM

- ENGINEERED WOOD FLOOR TRUSSES
- DESIGNER SHALL VERIFY DEFLECTION OR LESS
- TRUSS MANUFACTURER TO PROVIDE CHASES FOR ALL SUPPLY AND RETURN DUCTWORK
- TRUSS MANUFACTURER TO VERIFY FRAMING AT CAULVERS FOR POINT LOADS FROM ABOVE
- TRUSS MANUFACTURER TO VERIFY LOCATIONS OF ANY CONCENTRATED LOADS, SUCH AS GRANITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NEEDED

FRAMING

- 9'-1-1/8" PLATE HEIGHT (U.L.C.)
- 2X6 WALLS AT ALL POCKET DOORS
- PROVIDE SOLID BLOCKING AT ALL POINT LOADS

- ■ INDICATES BEARING POINT LOAD
- PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

DOOR SCHEDULE SYMBOL
2468 REPRESENTS A 2'-4" WIDE X 6'-8" HIGH DOOR

TRUSS SUPPLIER TO VERIFY ALL SPANS, PITCHES, HEBL HEIGHTS AND OTHER CONDITIONS CRITICAL TO PROPER TRUSS FABRICATION.
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HBN-21-032
THE BREEZY POINTE
BASEMENT
2 CAR FRONT - STANDARD



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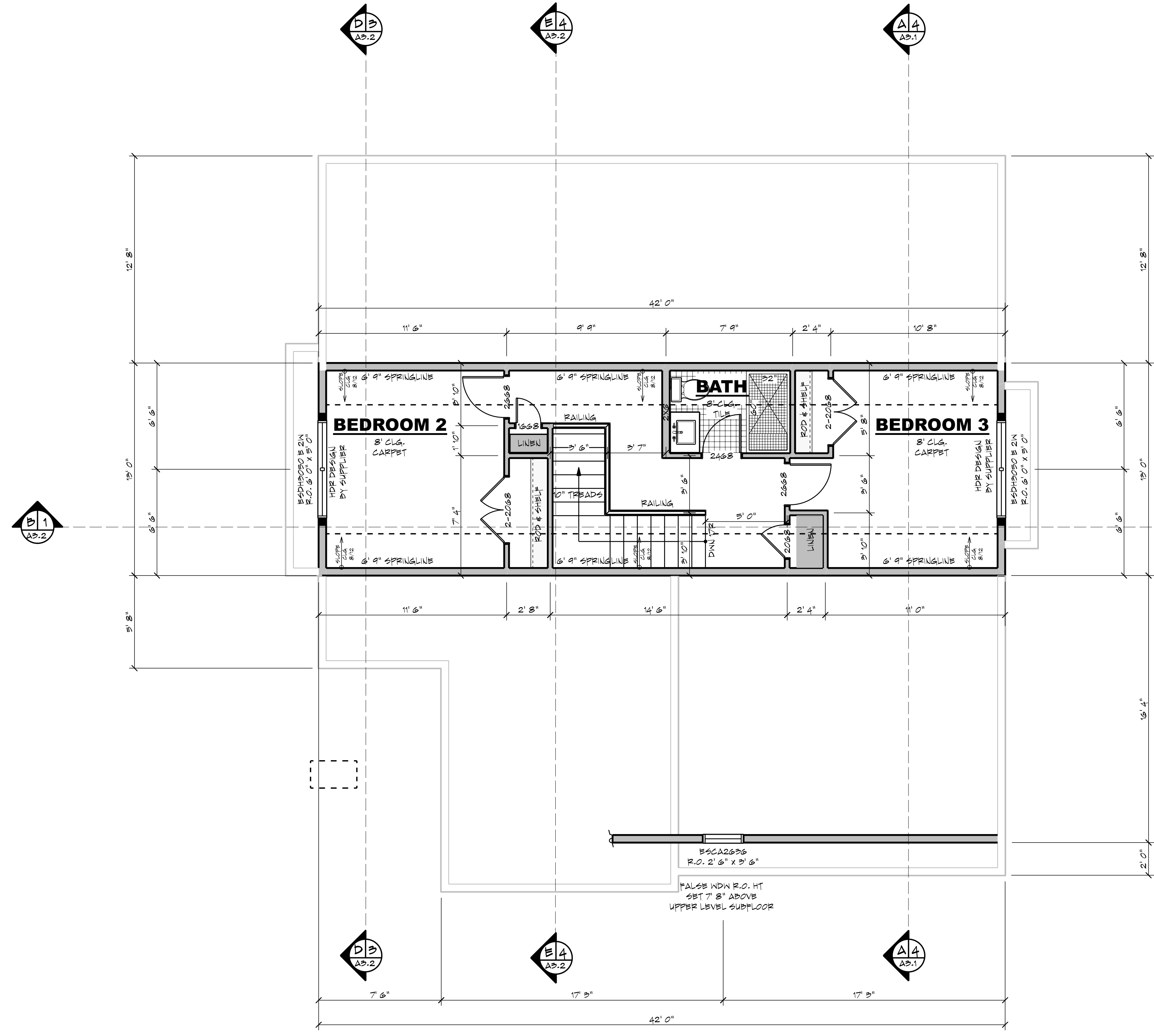
MAIN LEVEL PLAN

1 A2.2 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1' 0"

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AREA TABULATION	
BASEMENT	446 SF
MAIN LEVEL	446 SF
UPPER LEVEL	546 SF
TOTAL FINISHED	1438 SF
TOTAL LIVABLE INCL. UNFINISHED BASMENT AREA	2378 SF
GARAGE FRONT PORCH	400 SF 55 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR STUD AT FRAMED WALLS.
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WINDOWS

- MARVIN B85000 SERIES
- STILES AND SIZES AS NOTED
- WINDOWS DESIGNATED WITH 'T' TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH 'B' MEET MBEST CODES
- WINDOW HEADER HEIGHTS SET TO 6' 11-3/8" (U.L.C.O.)
- BUILDER TO VERIFY WINDOW AND DOOR ROUGH OPENINGS AND HEADER HEIGHTS

FLOOR SYSTEM

- ENGINEERED WOOD FLOOR TRUSSES
- DESIGNED TO MIN. L/480 DEFLECTION OR LESS
- TRUSS MANUFACTURER TO PROVIDE CHASES FOR ALL SUPPLY AND RETURN DUCTWORK
- TRUSS MANUFACTURER TO VERIFY FRAMING AT CANTILEVERS FOR POINT LOADS FROM ABOVE
- TRUSS MANUFACTURER TO VERIFY LOCATIONS OF ANY CONCENTRATED LOADS, SUCH AS GRANITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NEEDED

FRAMING

- 8' 1/8" ROUGH CEILING HEIGHT
- PROVIDE SOLID BLOCKING AT ALL POINT LOADS

■ - INDICATES BEARING POINT LOAD

- PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

DOOR SCHEDULE SYMBOL
2468 REPRESENTS A 2'-4" WIDE X 6'-8" HIGH DOOR

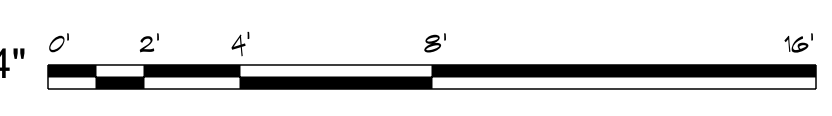
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++ FOOTING FROST DEPTH: ++
OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.

1 UPPER LEVEL PLAN

SCALE: 1/4" = 1' 0"



HBN-21-032
THE BREEZY POINTE
BASEMENT
2 CAR FRONT - STANDARD



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UPPER LEVEL PLAN

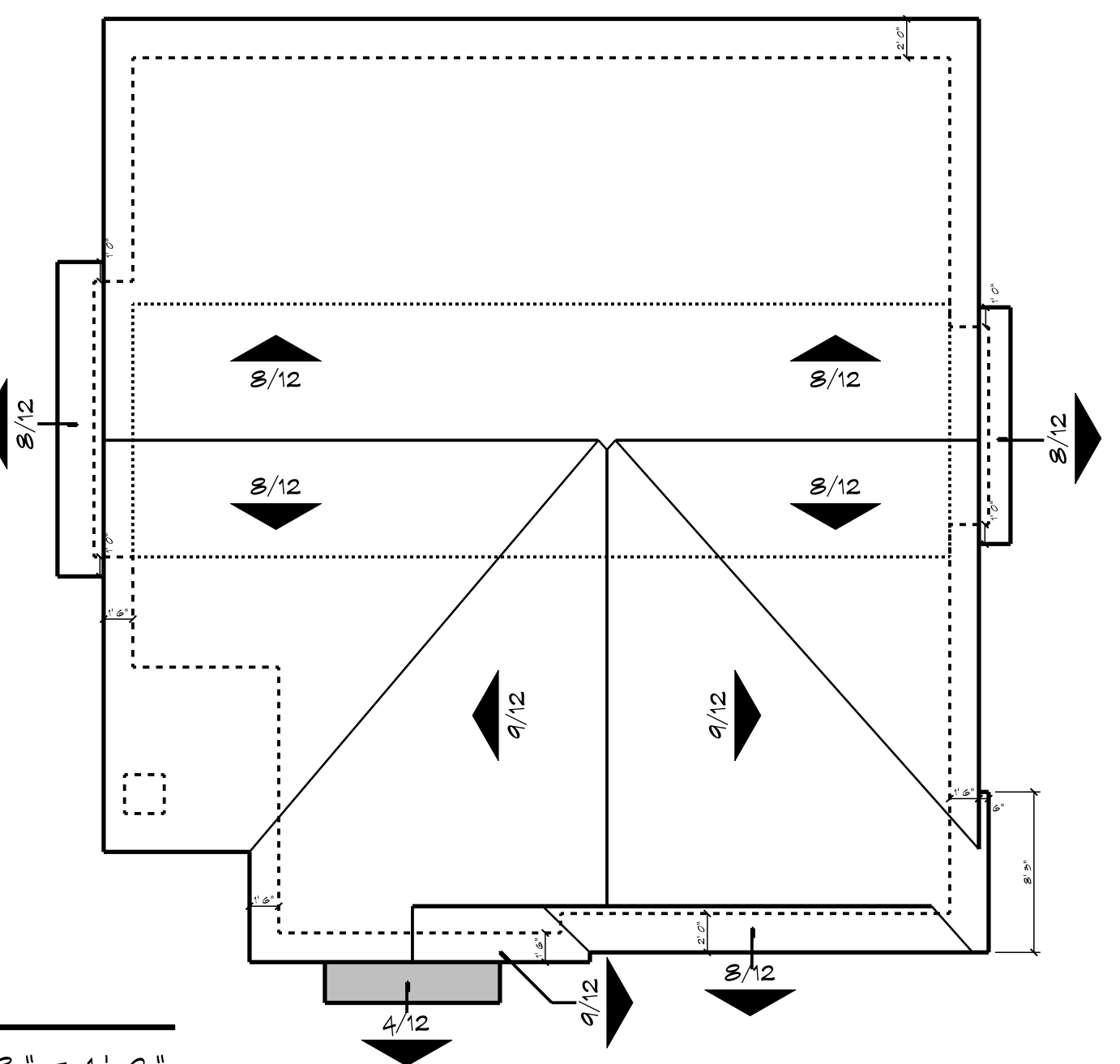
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GENERAL NOTES - ROOF PLAN

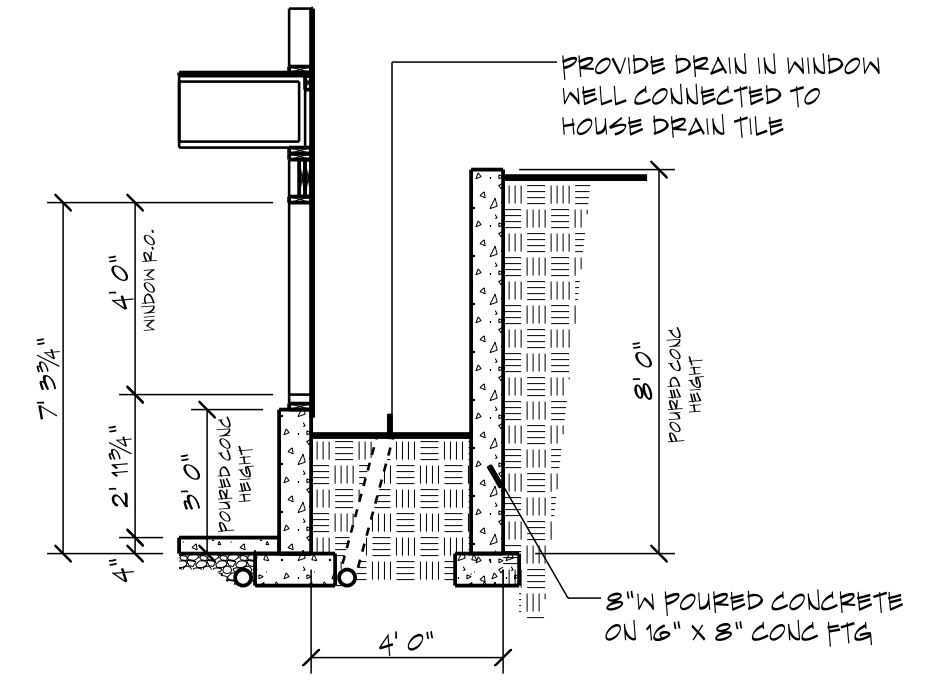
- TYPICAL OVERHANG DIMENSIONS (U.N.O.)
- EAVES = 24"
- GABLES = 18"
- ROOF VENTING TO BE 1/200 OF ATTIC AREA
- 50% IN EAVE 50% IN ROOF
- KEEP ROOF PENETRATIONS ON REAR SIDE OF ROOF AS MUCH AS POSSIBLE
- TRUSS MANUFACTURER TO VERIFY ALL PITCHES, OVERHANGS, HEEL HEIGHTS, EXTENDED CHORDS AND KNEEWALL HEIGHTS
- BUILDER TO REVIEW TRUSS DESIGN AND LAYOUT PRIOR TO TRUSS ORDER
- ICE & WATER SHIELD AT EAVES TO POINT OF 2' 0" BACK FROM INSIDE EDGE OF EXTERIOR WALL
- FULL ICE & WATER SHIELD ON ROOF PITCHES LESS THAN 4/12
- ROOFING CONTRACTOR TO INSTALL KICKOUT FLASHING AS NEEDED
- EXTERIOR WALL FINISHER TO VERIFY INSTALLATION PRIOR TO FINISHING

SHADED AREA INDICATES LOCATION OF STANDING SEAM METAL ROOFING



3 ROOF PLAN

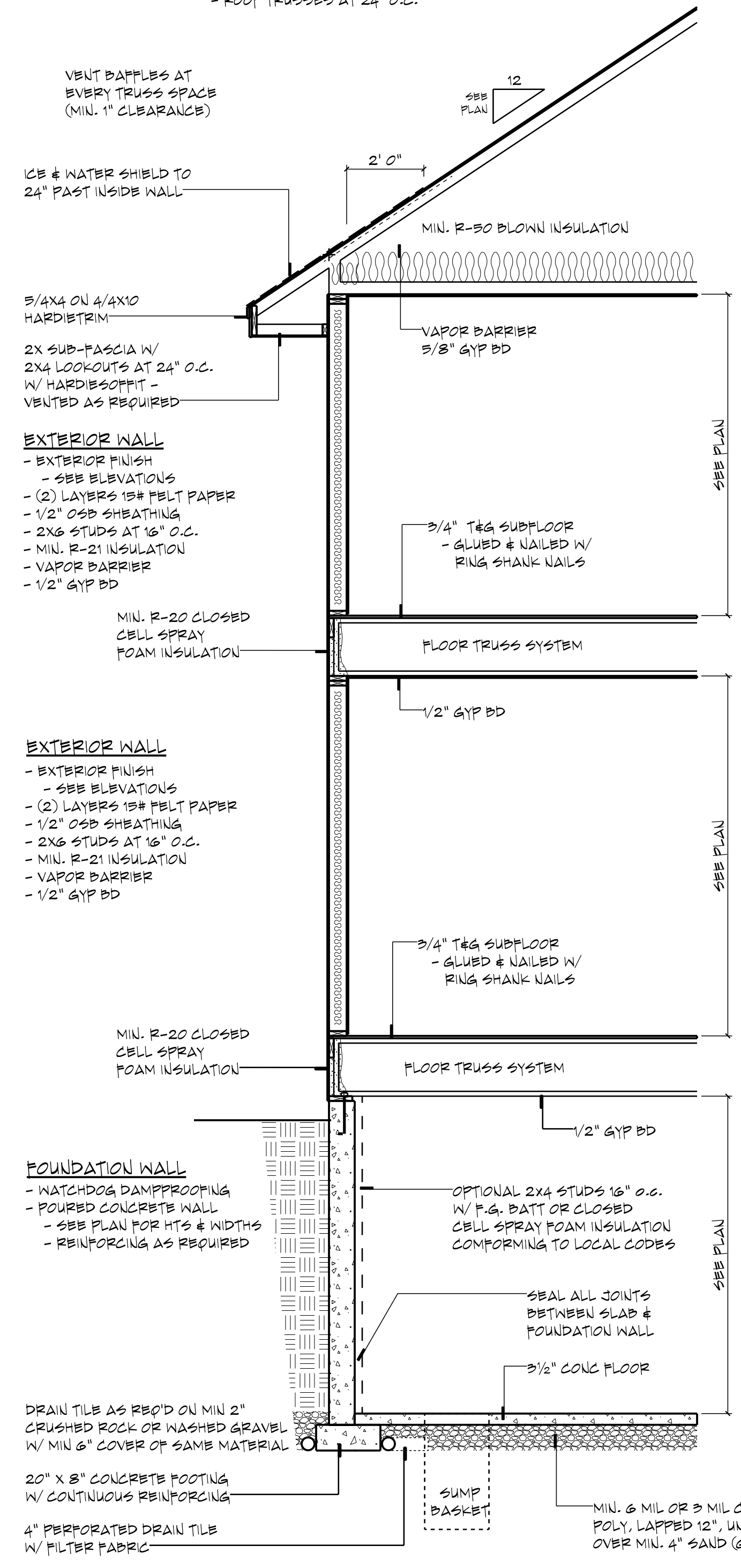
SCALE: 1/8" = 1' 0"



2 WINDOW WELL

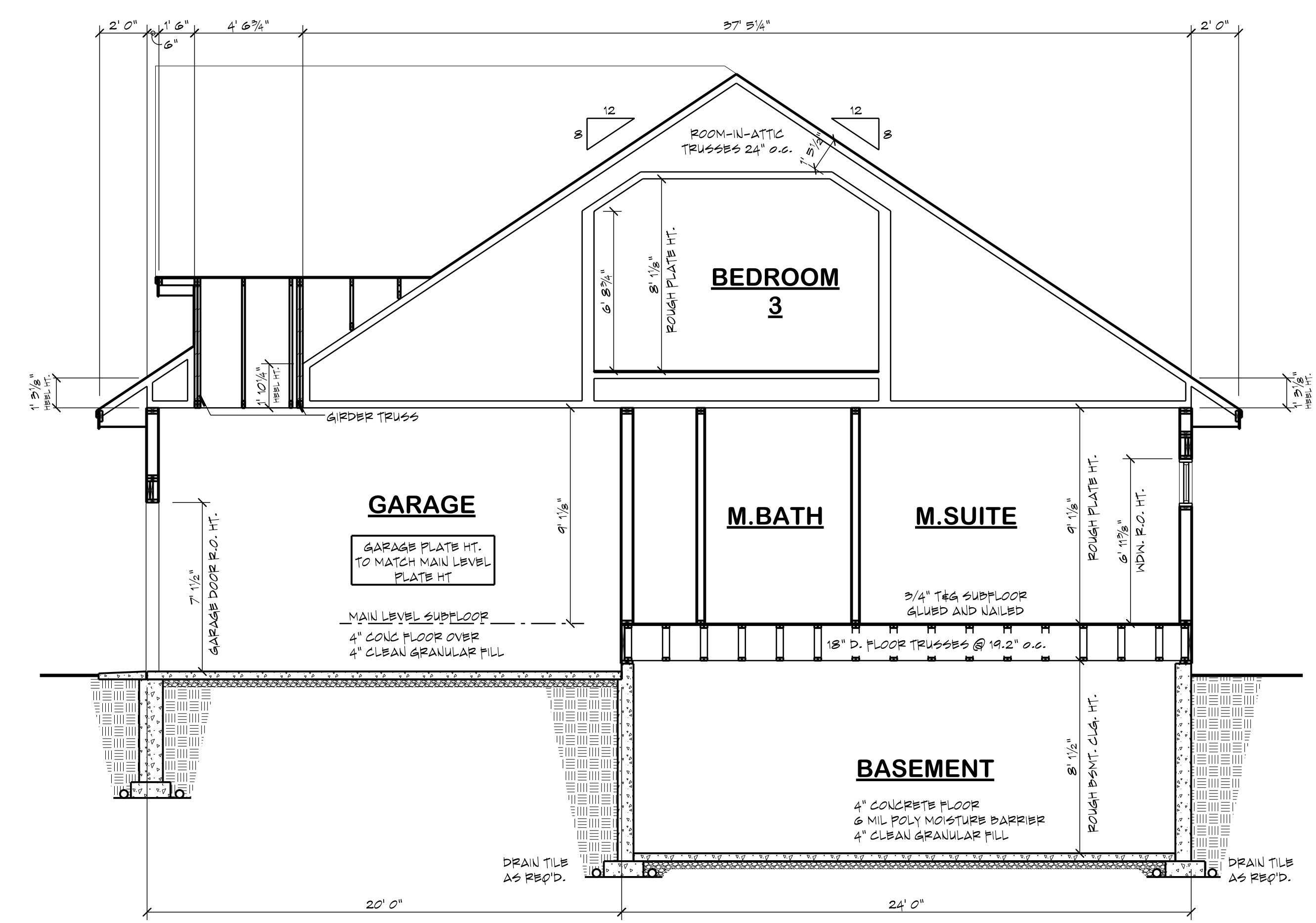
SCALE: 1/4" = 1' 0"

ROOF
- SEE PLAN FOR MATERIAL
- (1) LAYER 15# FELT UNDERLAYMENT
- 1/2" OSB SHEATHING W/ CLIPS
- ROOF TRUSSES AT 24" O.C.



1 TYPICAL WALL SECTION

SCALE: 3/8" = 1' 0"



4 BUILDING SECTION 'A'

SCALE: 1/4" = 1' 0"

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OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.



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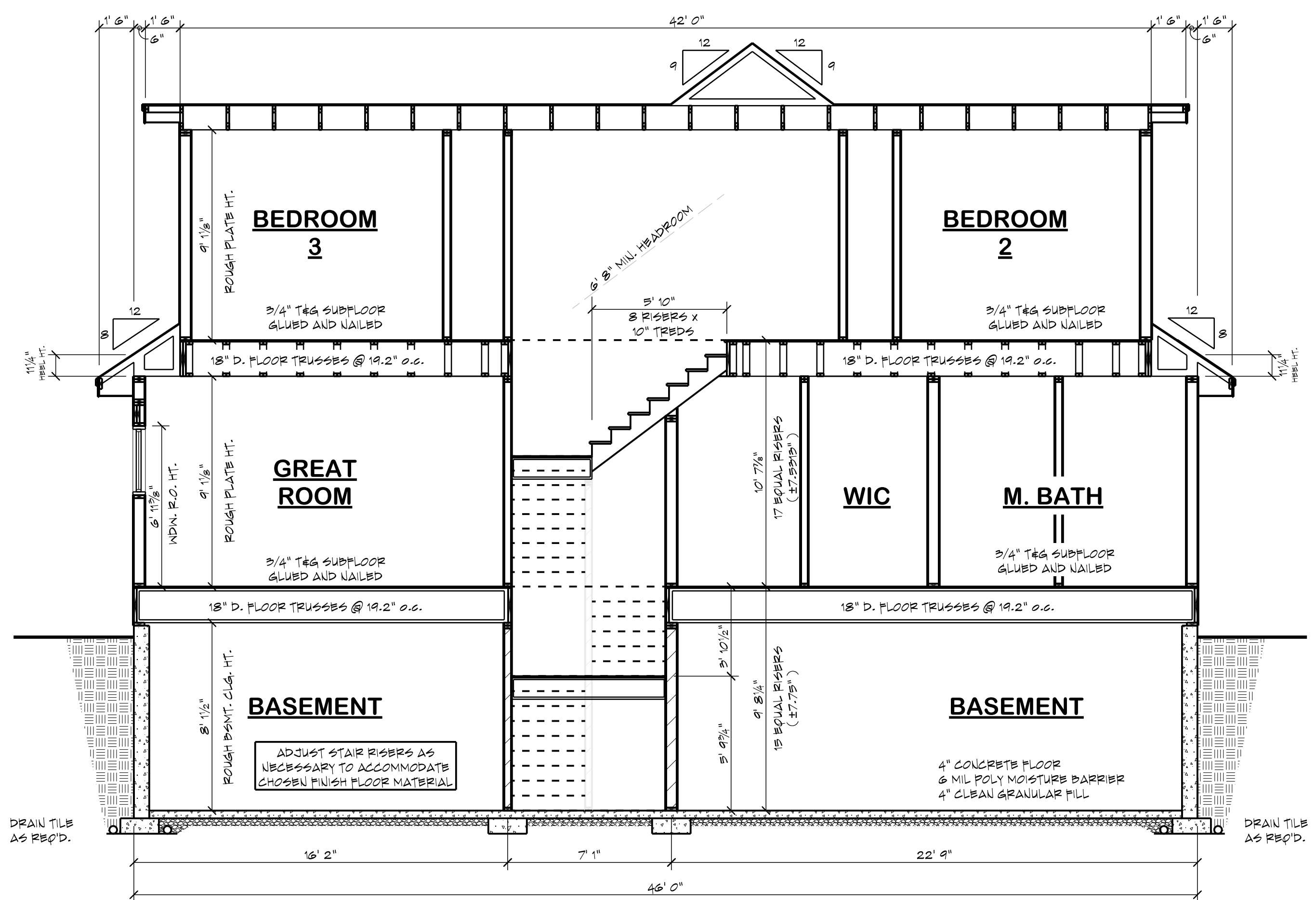
TYP. SECTION
ROOF PLAN
BUILDING SECTIONS
WINDOW WELL DETAIL

A3.1

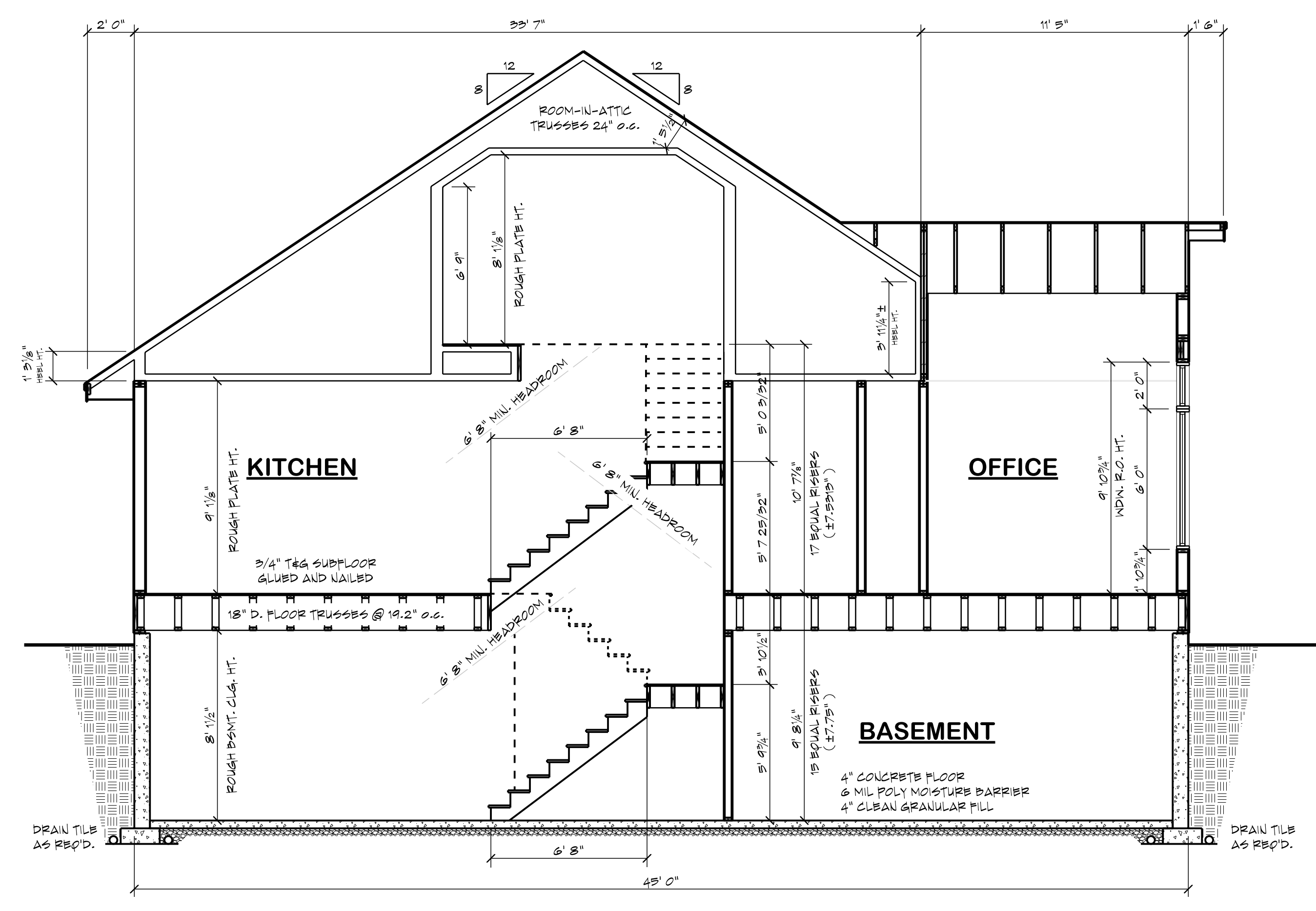
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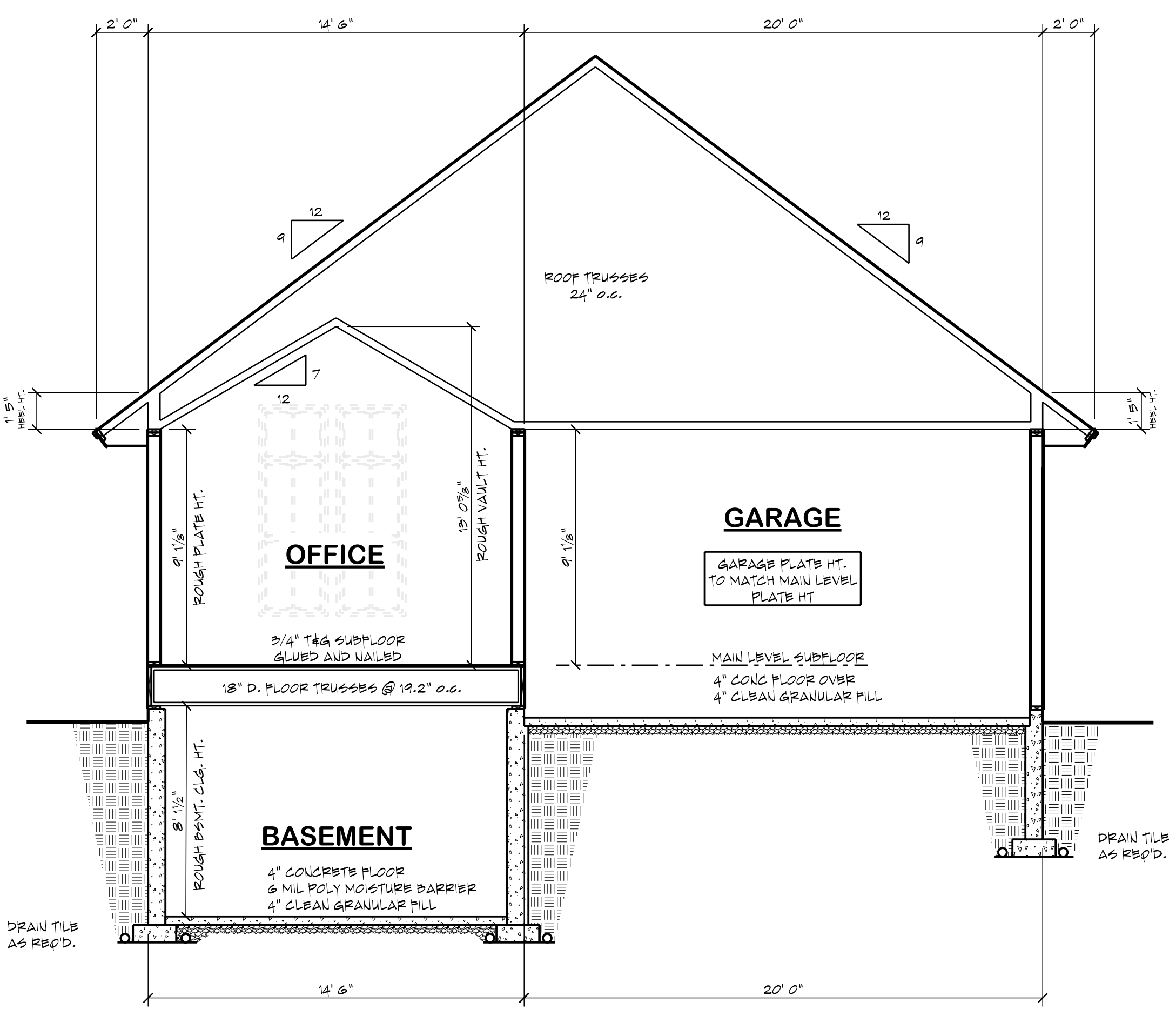
HBN-21-032
THE BREEZY POINTE
BASEMENT
2 CAR FRONT - STANDARD



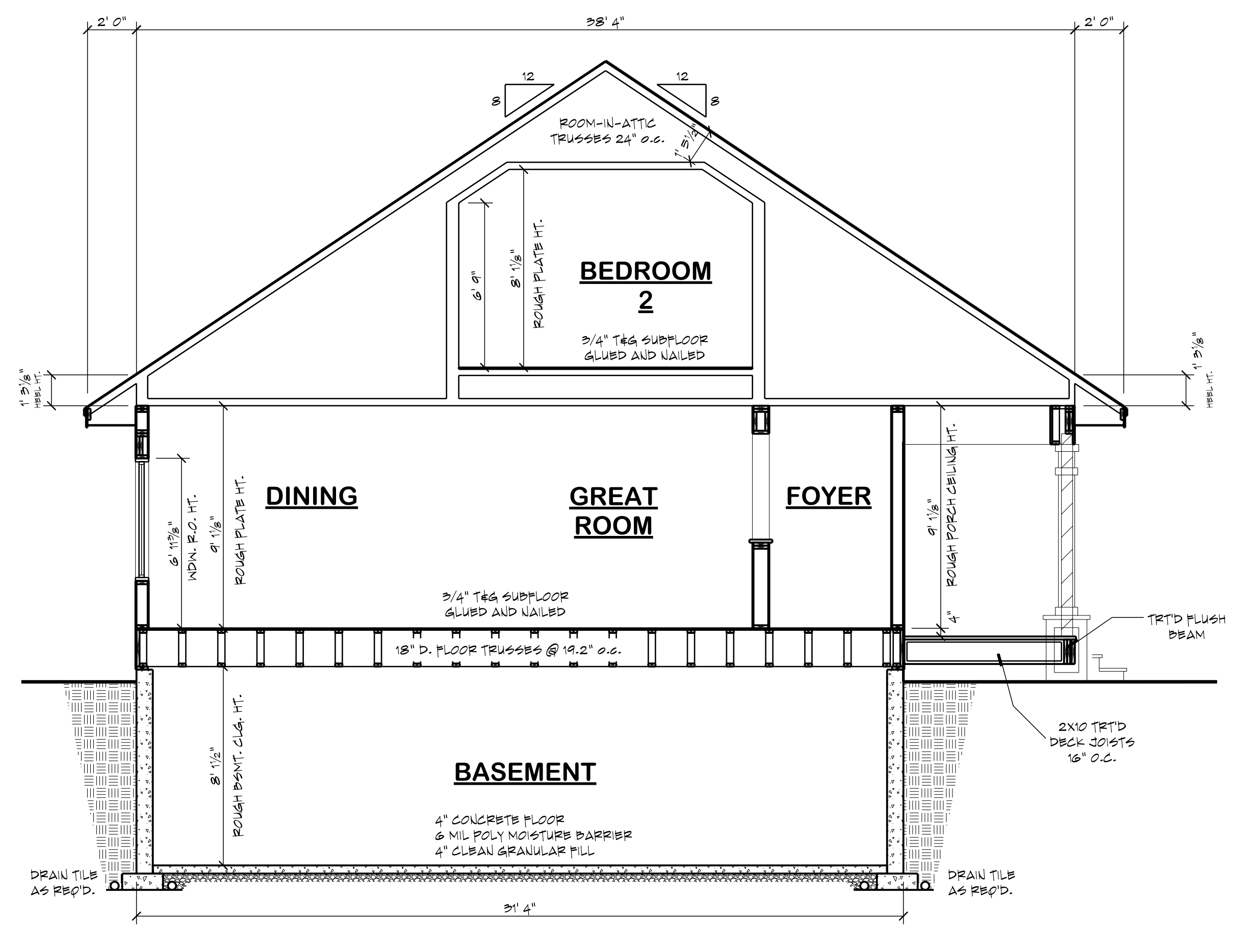
1 BUILDING SECTION 'B'
SCALE: 1/4" = 1' 0"



4 BUILDING SECTION 'E'
SCALE: 1/4" = 1' 0"



2 BUILDING SECTION 'C'
SCALE: 1/4" = 1' 0"



3 BUILDING SECTION 'D'
SCALE: 1/4" = 1' 0"

TRUSS SUPPLIER TO VERIFY ALL SPANS, PITCHES, HEBB HEIGHTS AND OTHER CONDITIONS CRITICAL TO PROPER TRUSS FABRICATION

ANY STRUCTURAL COMPONENTS THAT MAY BE NOTED ON THESE PLANS ARE INTENDED FOR DESIGN/ID PURPOSES ONLY. IT IS RECOMMENDED THAT ALL STRUCTURAL DESIGN BE REVIEWED BY A LICENSED PROFESSIONAL ENGINEER

+++ STRUCTURAL NOTICE +++

ALL STRUCTURAL BEAM AND HEADER SIZES, BEARING CONDITIONS AND ANCHORING REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR ENTIRE STRUCTURE.

++ FOUNDATION ENGINEERING ++

ALL BUILDING FOUNDATION, FOOTING SIZES AND REINFORCING, INCLUDING POST FOOTINGS, TO BE DESIGNED ON SITE BY LOCAL ENGINEER OR FOUNDATION CONTRACTOR BASED ON EXISTING SITE CONDITIONS.

++ FOOTING FROST DEPTH: ++

OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.



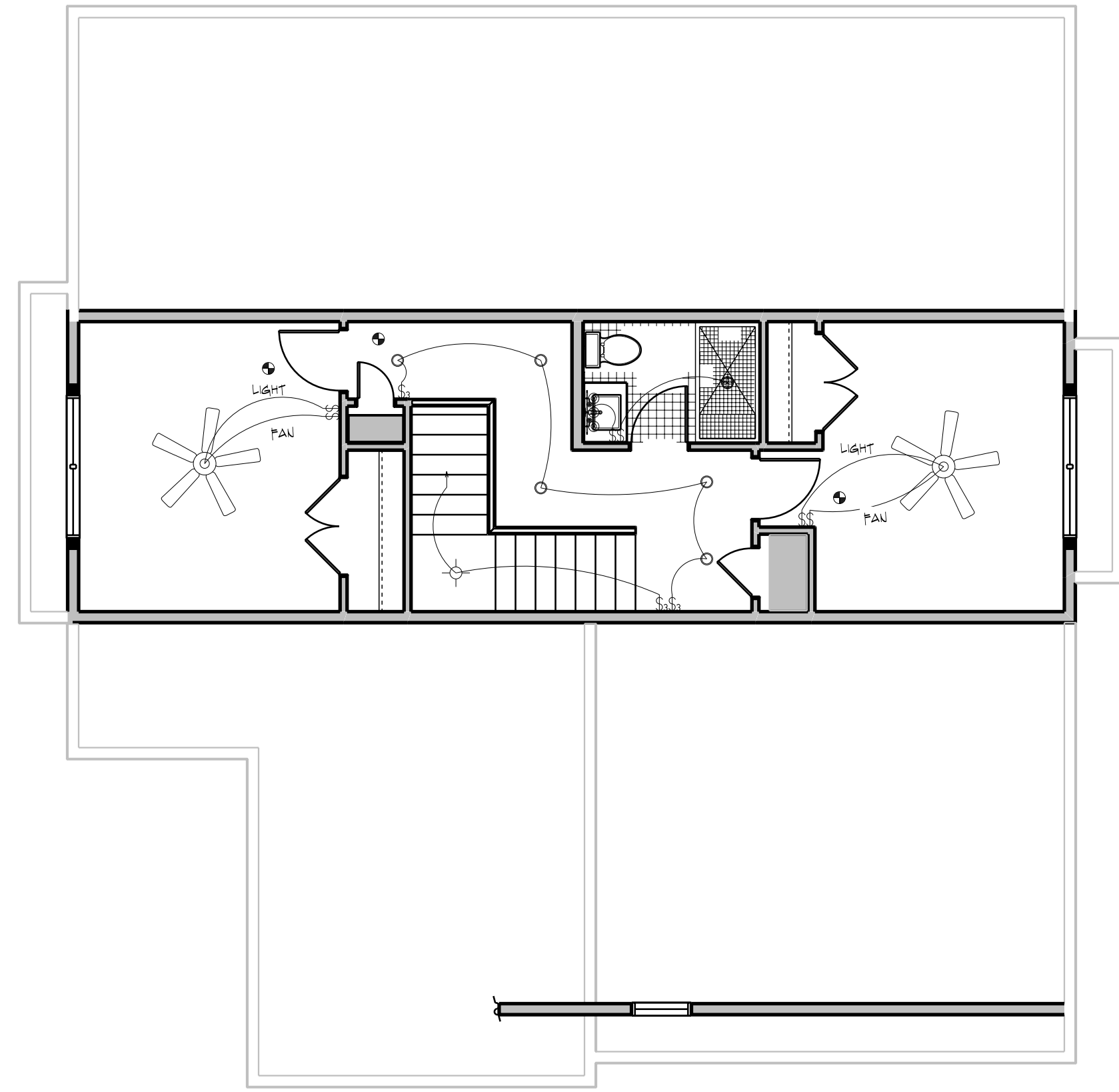
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Original Draft Date: 11/02/2021
Document Date: 6/27/2024
Document Phase:

Drawn by: OFM

ISSUE	DATE	REMARK
01	11/02/21	PLD12N B2CF - CA

BUILDING SECTIONS



ELECTRICAL LEGEND

	CEILING MOUNT LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	BATH EXHAUST FAN
	COMBO LIGHT / BATH EXHAUST FAN
	SWITCH
	SWITCH - 3-WAY
	SWITCH - 4-WAY
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	VANITY LIGHT BAR
	UNDER CABINET LIGHTING
	120V OUTLET
	FAN/LIGHT COMBO FIXTURE

ALL ELECTRICAL TO BE INSTALLED IN ACCORDANCE TO THE LATEST NATIONAL AND LOCAL CODES

AREA TABULATION

BASEMENT	416 SF
MAIN LEVEL	416 SF
UPPER LEVEL	546 SF
TOTAL FINISHED	1382 SF
TOTAL LIVABLE INCL. UNFINISHED	2378 SF
BASMENT AREA	
GARAGE	400 SF
FRONT PORCH	55 SF

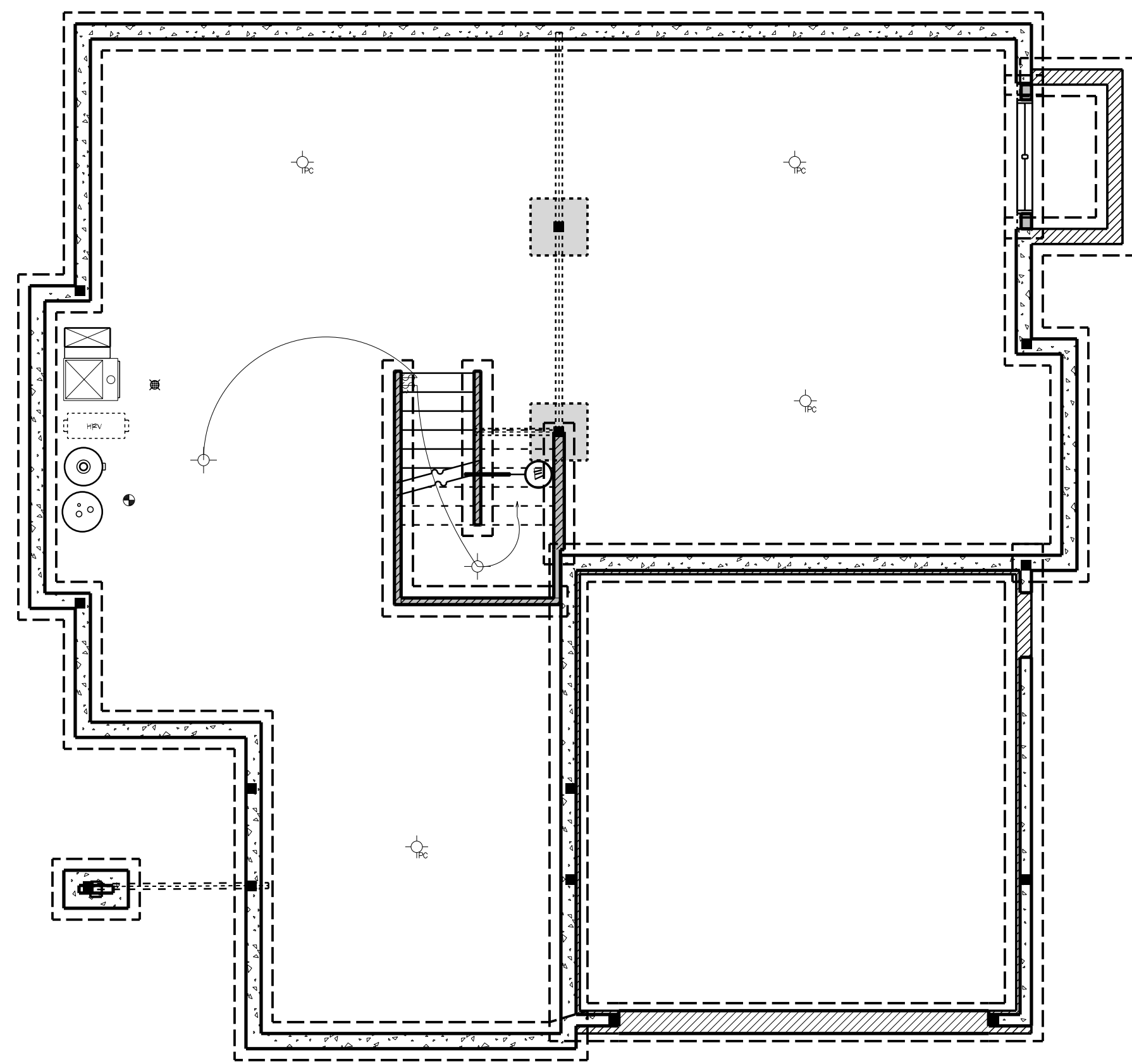
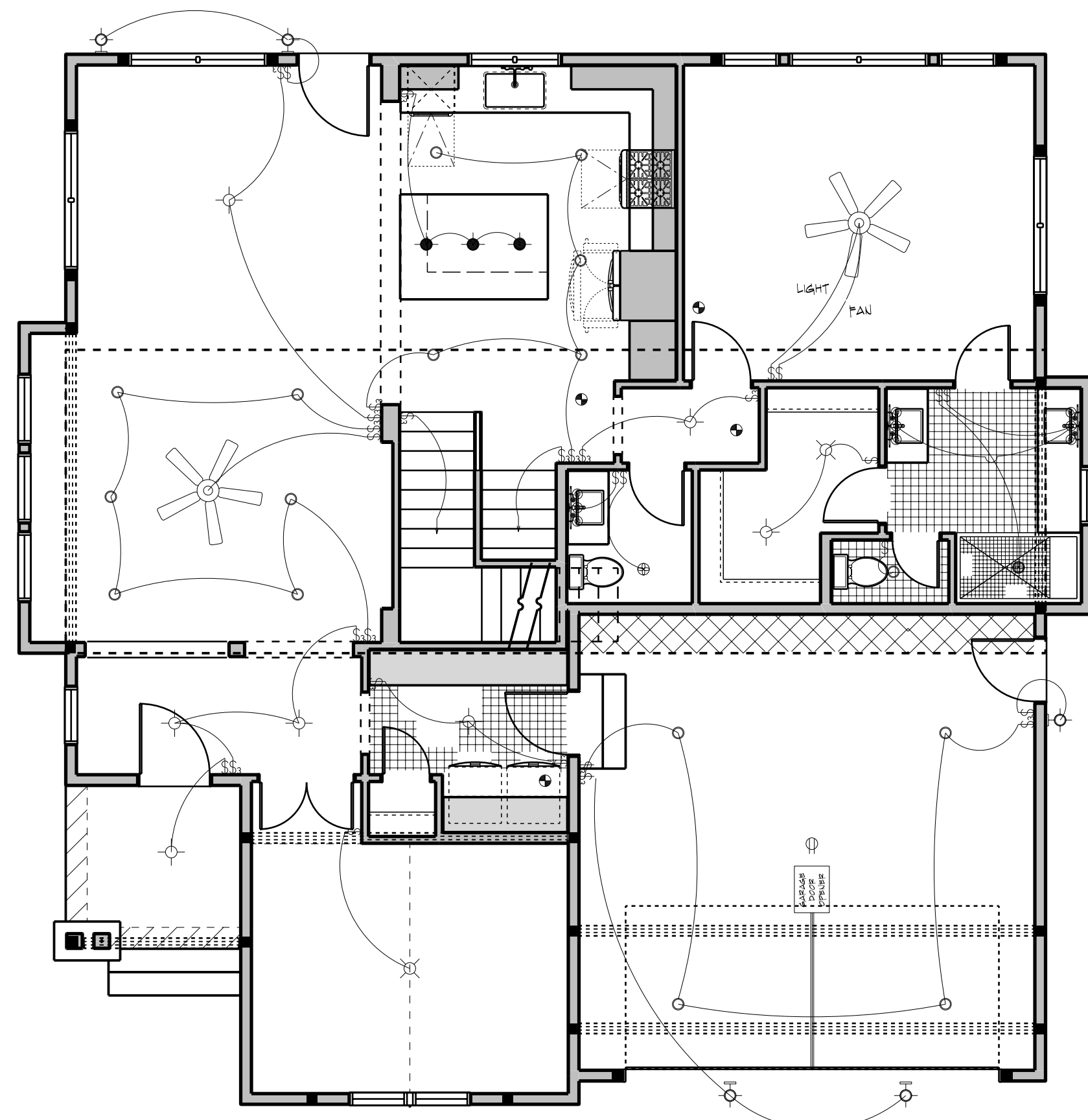
FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR STUD AT FRAMED WALLS. STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.

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HBN-21-032
THE BREEZY POINTE
BASEMENT
2 CAR FRONT - STANDARD

1 UPPER LEVEL LIGHTING LAYOUT

SCALE: 1/4" = 1' 0"



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01	11/02/21	PUDN B22P-0A

LIGHTING PLANS

2 MAIN LEVEL LIGHTING LAYOUT

SCALE: 1/4" = 1' 0"

3 BASEMENT LIGHTING LAYOUT

SCALE: 1/4" = 1' 0"